

# Vicinity Map

River Run Estates Ln

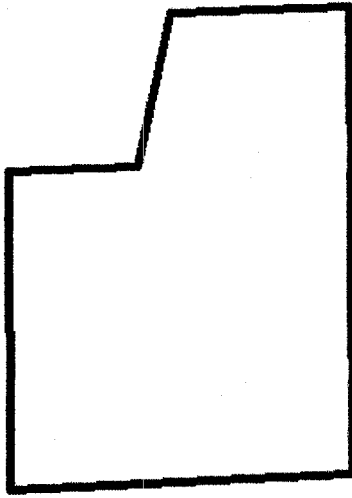
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Mudlark Alley

Map data ©2012 Google - Edit in Google Map Maker

Property  
Boundaries



Don Rd

C. Miller

Heath Rd

Suslow Bayou Rd

G. Schier Vayder Rd

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Joe Quayle Rd

Mae Ln

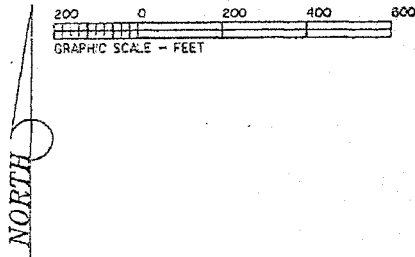
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# Courthouse Plat



(MAE A. AMEDEE  
& HAROLD R. THOMAS)

(PERRY J. BABIN)

(LOUIS H. STAFFORD)

TRACT C-2

C-2-A-1  
53.663 AC.

C-2-A

TRACT B  
(DONNIE N. JENNINGS)

C-3-A  
15.428 AC.

TRACT C-3

TRACT C-1  
C-1-C  
7.176 AC.

10-A  
(ENELL L. PAINTER)

9  
(CLIFTON J. MELANCON)

8-E-2  
(RONALD T. BATES)

7-A  
(TY DICK)

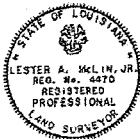
6  
(RUBY R. LEBLANC)

5  
(VICTOR P. BOURQUE)

## REFERENCE(S):

1. SIMPLE DIVISION OF TRACTS D & C OF THE J.C. DEBATE ESTATE INTO C-1, C-2, C-3, D-1 & 2... FOR G & G LAND VENTURES, L.L.C. & HAZEL BABIN BY LESTER A. MCILIN, JR., P.L.S. DATED 10-23-2006

DRAWN BY: ECJ  
CREW CHIEF: BM4  
TECHNICIAN: ECJ  
CHECKED BY:  
CHECKED BY:



THIS SURVEY WAS PREPARED AT THE REQUEST AND FOR THE EXCLUSIVE USE OF:  
G & G LAND VENTURES, L.L.C.  
THIS FIRM WAS NOT CONTRACTED TO PERFORM A COMPLETE TITLE ABSTRACT OF THE PROPERTY SHOWN HEREON. BE AWARE THAT SERVITUDES SHOWN HEREON WERE TAKEN FROM REFERENCE DATA AND THAT OTHER SERVITUDES, ENCUMBRANCES OR RESTRICTIONS, EITHER VISIBLE OR NOT VISIBLE, MAY AFFECT THE SUBJECT PROPERTY.

## CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP IS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:5051 AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND. THIS MAP IS MADE IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS FOR CLASS "C" SURVEYS AND IT WAS THE INTENT TO SUBDIVIDE THE TRACT INTO THE PLATTED SUBDIVISION. THIS CERTIFICATION IS SPECIFICALLY RESTRICTED TO THE CLIENT FOR THE REQUIRED SUBDIVISION OF PROPERTY ONLY, AND DOES NOT EXTEND TO THIRD PARTIES UNLESS THE PLAT IS PROPERLY REVISED BY THE CERTIFIER TO REFLECT SAME.

LESTER A. MCILIN, JR.  
PROFESSIONAL LAND SURVEYOR  
MCILIN & ASSOCIATES, INC.

10/11/2007  
DATE

REVISED: 10-11-2007

TO REMOVE 13.627 ACRES FROM TRACT C-3 AND ADD TO TRACT C-2-A TO CREATE TRACT C-2-A-1 & TRACT C-3-A.

## GENERAL NOTES:

TOTAL AREA: 69.091 AC. (TRACTS C-2-A-1 & C-3-A)  
A WETLANDS INVESTIGATION WAS NOT REQUESTED AND IS NOT A PART OF THIS SURVEY.  
ZONING DISTRICT: "R"

## NOTE:

THE EXISTING PRIVATE SERVITUDE OF PASSAGE WILL PROVIDE ACCESS TO TRACTS C-2-A-1 & C-3-A ALSO AND NO NEW SERVITUDES ARE REQUIRED.

GREG SWANSON, AGENT  
G & G LAND VENTURE, L.L.C. (OWNER)

10-11-07  
DATE

## NOTE:

THIS MAP REPRESENTS AN EXCHANGE OF PROPERTY BETWEEN ADJACENT PROPERTY OWNERS AND NO NEW BUILDING SITES ARE BEING CREATED BY THIS REBUDIVISION

## APPROVED:

4399  
FILE NUMBER  
10/11/07  
DATE  
CHAIRMAN  
ASCENSION PARISH PLANNING COMMISSION

## GENERAL NOTES:

TOTAL AREA: 58.110 AC.  
A WETLANDS INVESTIGATION WAS NOT REQUESTED AND IS NOT A PART OF THIS SURVEY.  
ZONING DISTRICT: "R"

BASE BEARING: S 89°55'31"E (REF #1)  
FLOOD ZONE: "A2" & "C" BASE FLOOD ELEVATION: 5.0  
F.E.M.A. F.I.R.M. COMMUNITY PANEL NO. 220013-0130-0 DATE 1-20-93

## NOTE:

ANY NEW DRAINAGE DITCH REQUIRED BY THIS PROPERTY FOR THE PURPOSE OF THE OR SEWAGE TREATMENT PLANT EFFLUENT MAINTAINED DITCH SHALL BE CONSTRUCTED OWNERS).

## PRIVATE DEDICATION

"THE PRIVATE SERVITUDE OF ACCESS TO TRACTS C-2-A-1 & C-3-A SHRUBS OR OTHER PLANTS MAY STRUCTURE, OR IMPROVEMENTS OVER THIS PRIVATE SERVITUDE INTERFERE WITH THE PURPOSE OF THE PARISH OF ASCENSION HAS OF THIS PRIVATE DRIVEWAY SE

## SEWAGE DISPOSAL:

NO PERSON SHALL PROVIDE A CONNECTION TO AN APPROVED METHOD OF SEWAGE TREATMENT THE STATE BOARD OF HEALTH.

## PUBLIC DEDICATION:

"THE STREET AND RIGHTS OF WAY DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC FOR REMOVAL OR OTHER PROPER PUBLIC, NO TREES, SHRUBS, SHALL ANY BUILDING, FENCE, CONSTRUCTED OR INSTALLED WITH RIGHT OF WAY SO AS TO PREVENT ANY PURPOSE FOR WHICH THE

/s/ GREG SWANSON

GREG SWANSON, AGENT  
G & G LAND VENTURES, L.L.C.

[illegible]

**Not Delineated**

- ~ 2181 cu. yards proposed fill of topsoil onto wetlands
- ~129.6 cu. yards proposed fill of concrete onto wetlands
- ~14.6 cu. yards proposed fill of gravel onto wetlands
- ~0.546 Acres of Wetlands to be Filled

**Not Delineated**

**Not Delineated**

**\*Not to Scale**

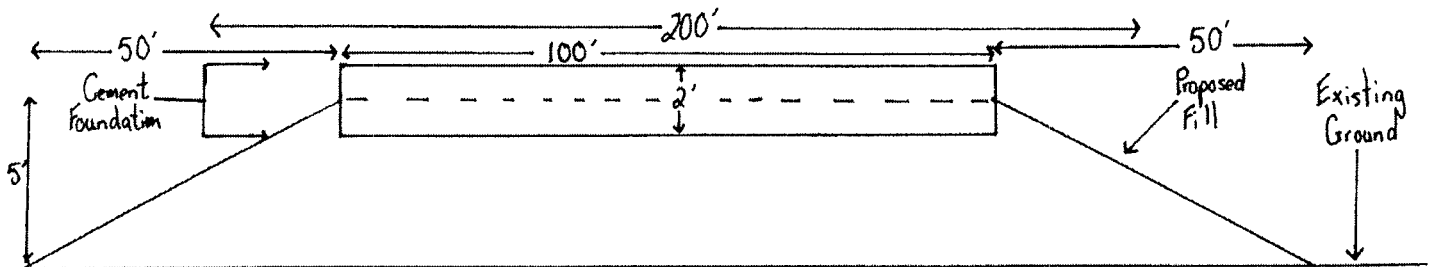
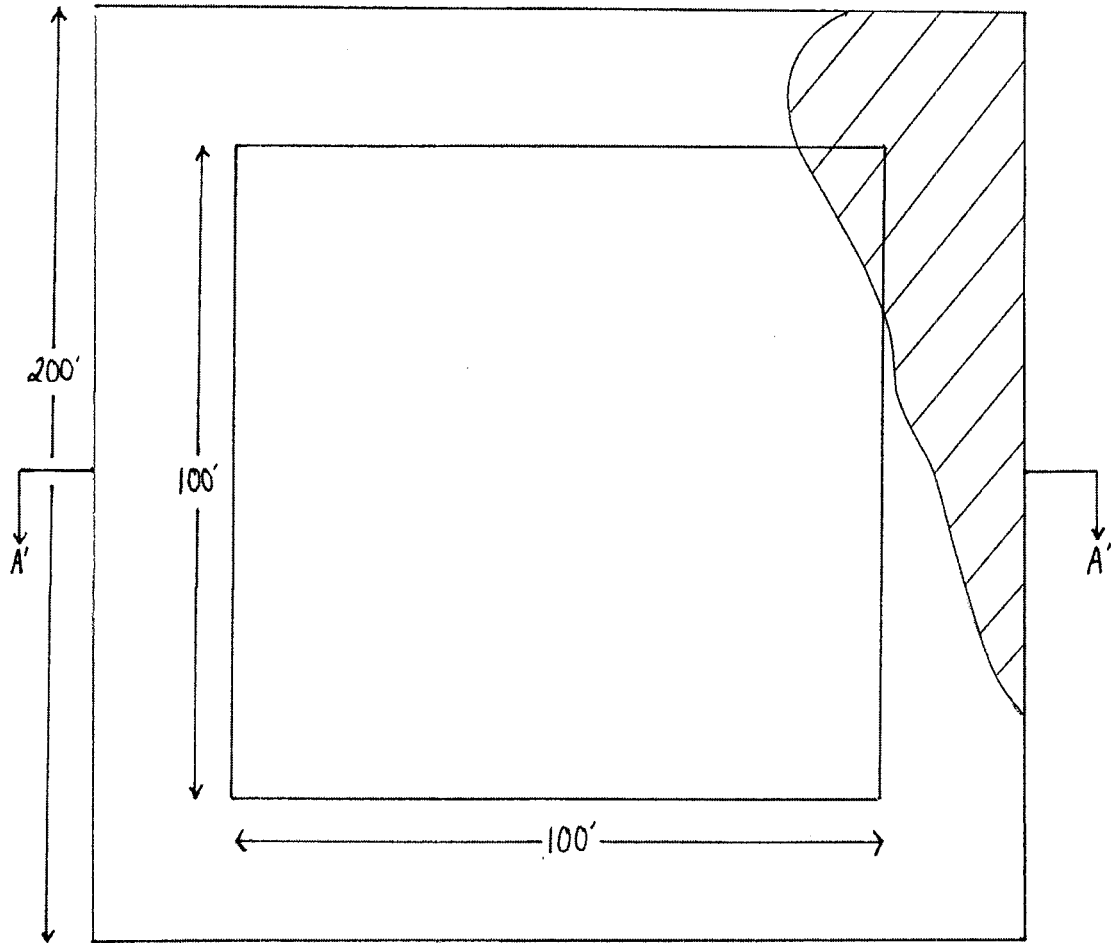


## Jurisdictional Wetlands

**\*All Locations Approximated**

1. Proposed Home Site #1
2. Proposed Home Site #2
3. Proposed Workshop Site
4. Proposed Pond Expansion (~0.733 Acres of Wetlands Impacted)
5. Proposed Driveway
6. Proposed Culvert #1
7. Proposed Culvert #2

# Home Site #1 Cross-Section



\*Not to Scale

A'A'

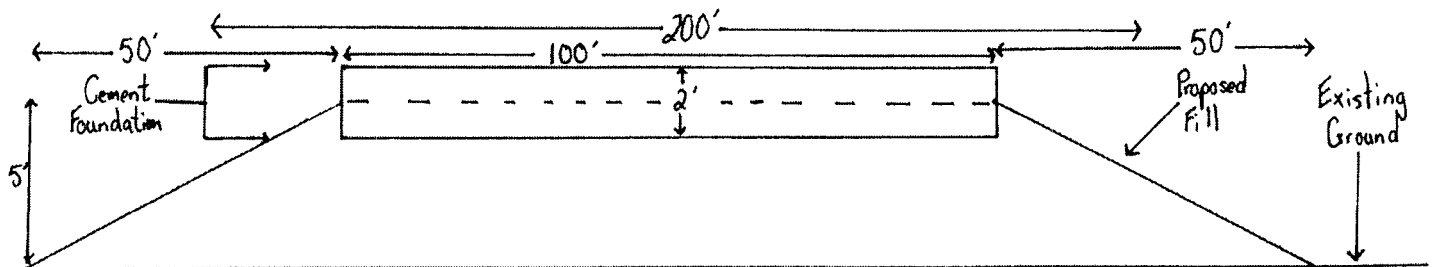
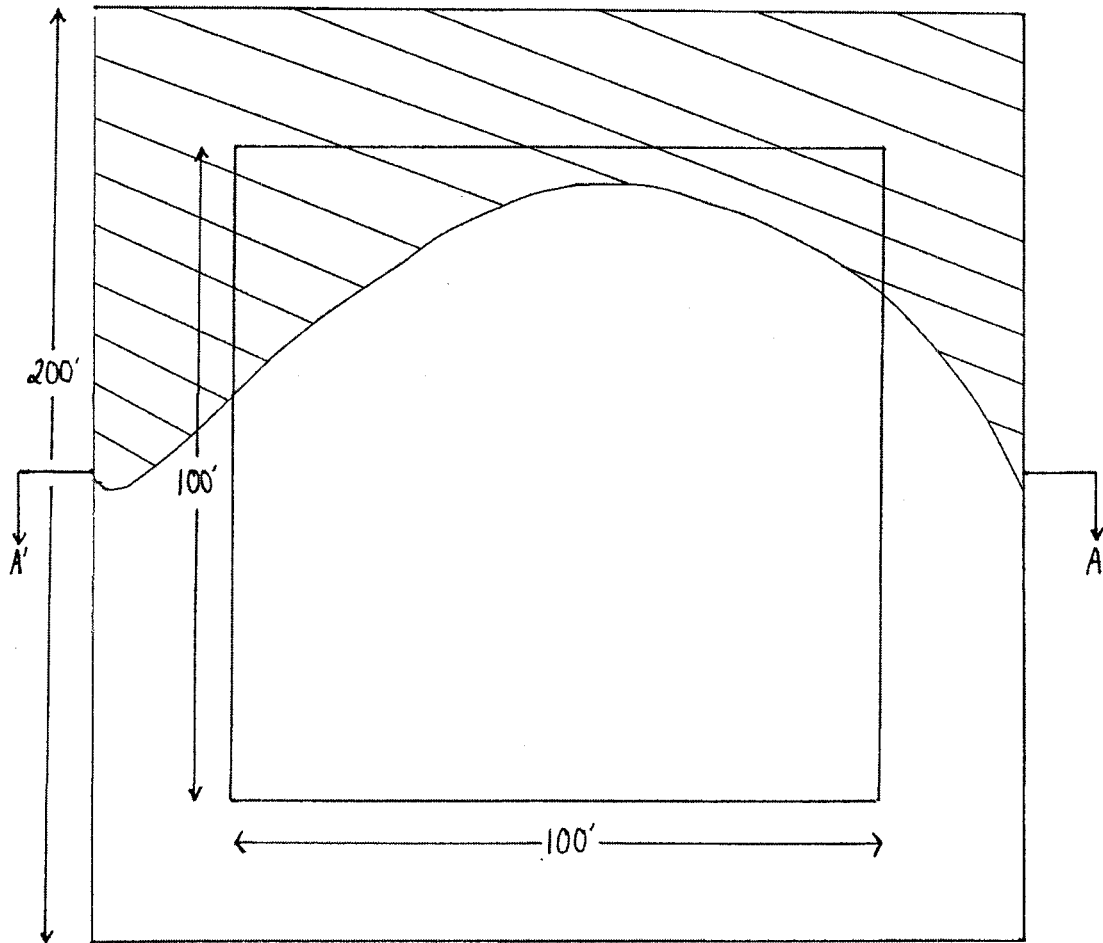
\*All Measurements are Approximated

 Jurisdictional Wetlands (~0.174 Acres)

~703 cu. yards proposed fill of topsoil onto wetlands

~9.6 cu. yards proposed fill of concrete onto wetlands

# Home Site #2 Cross-Section



\*Not to Scale

A'A'

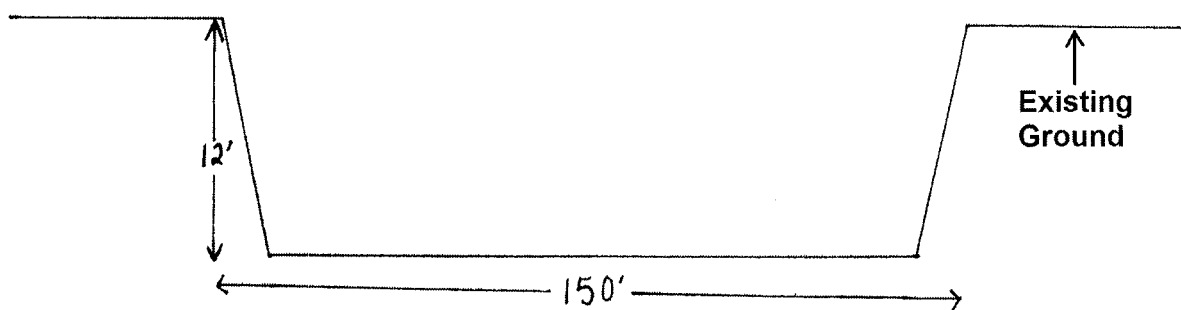
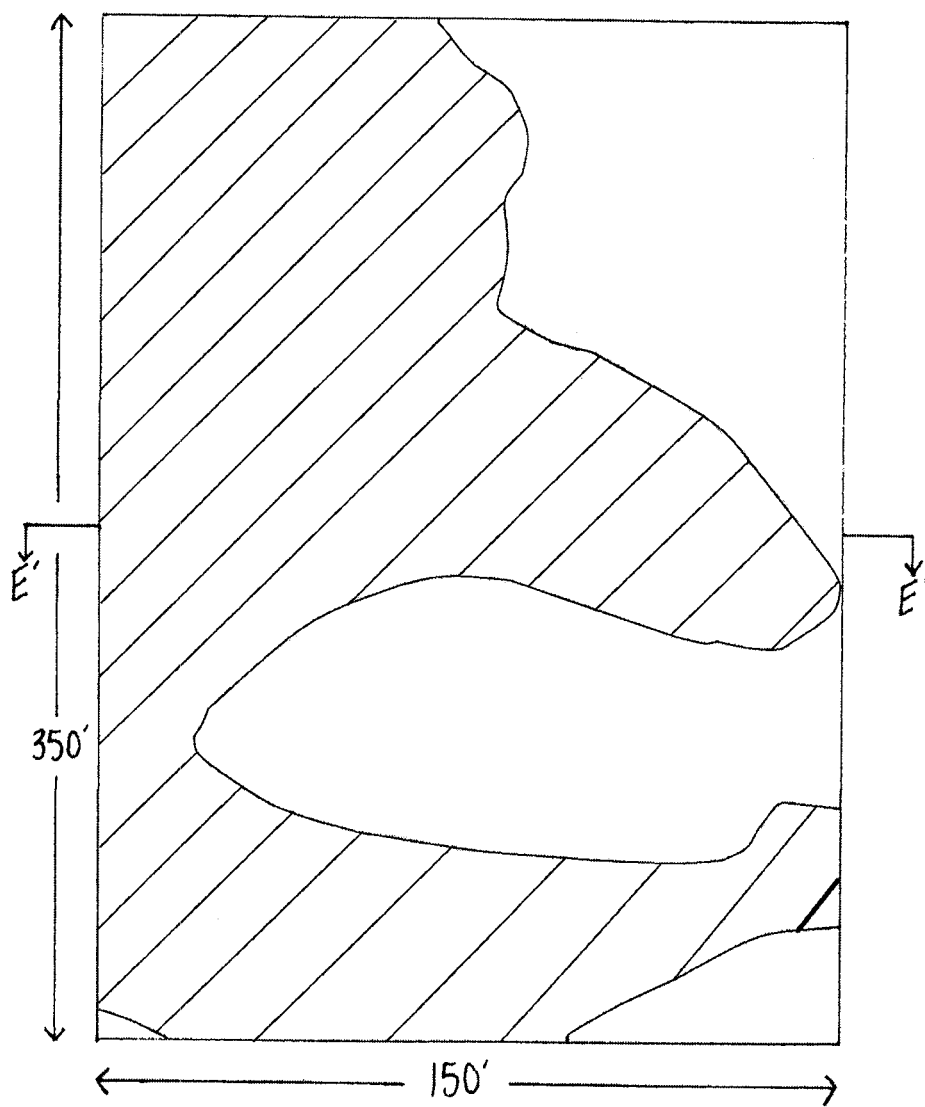
\*All Measurements are Approximated

 Jurisdictional Wetlands (~0.344 Acres)

~1389 cu. yards proposed fill of topsoil onto wetlands

~120 cu. yards proposed fill of concrete onto wetlands

# Pond Cross-Section

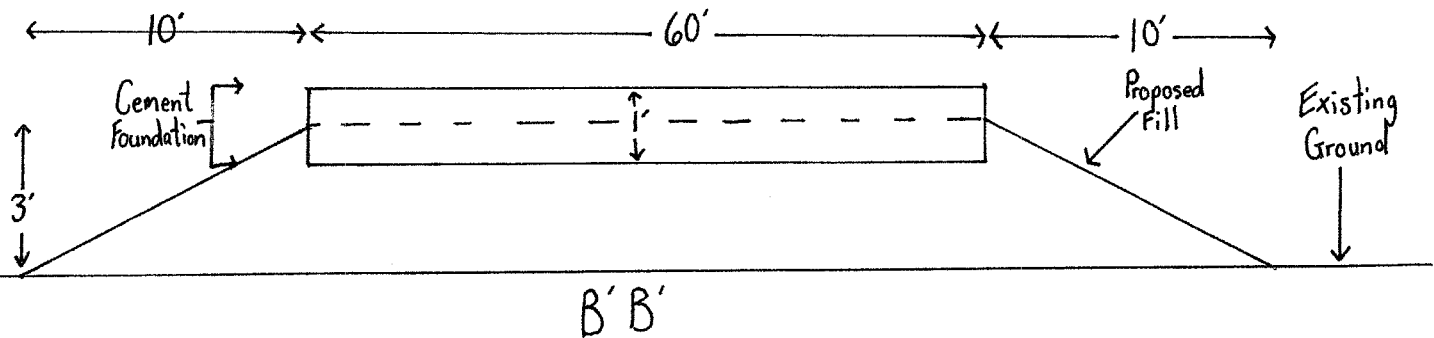
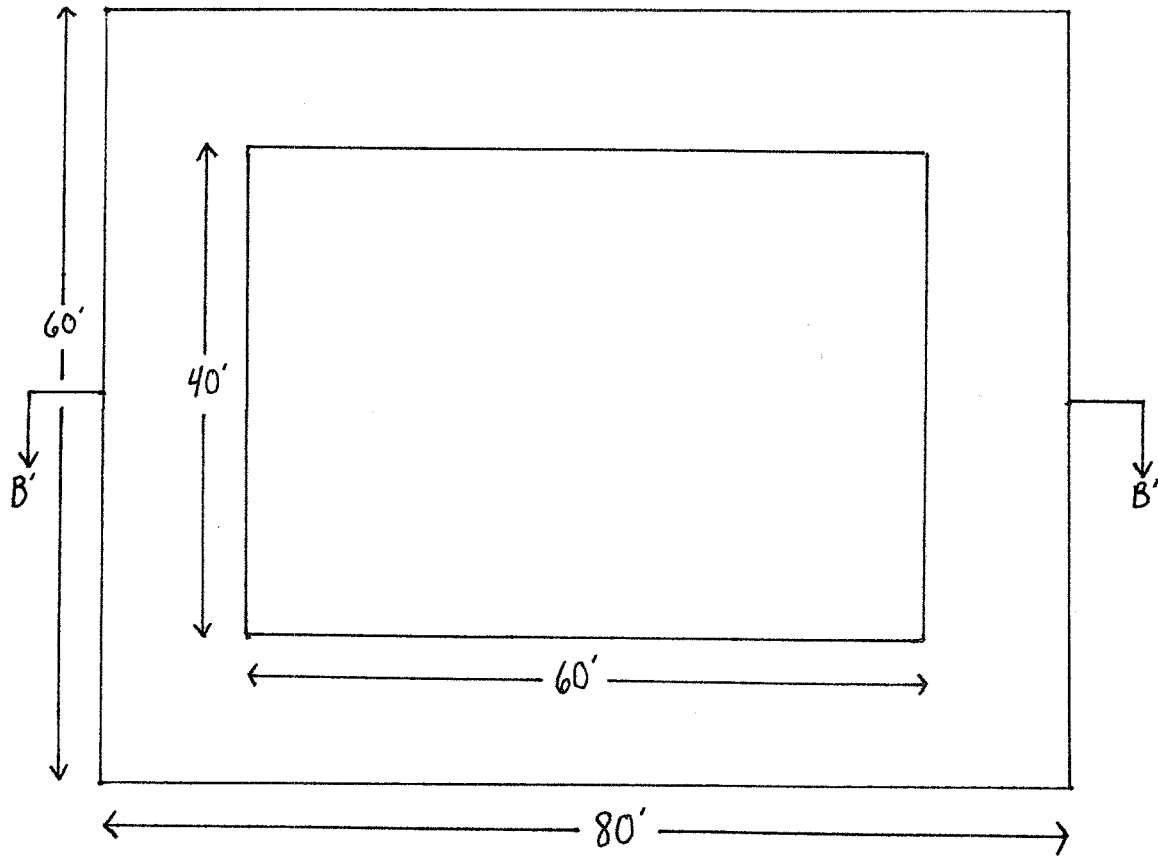


\*Not to Scale

\*All Measurements are Approximated

 Jurisdictional Wetlands (~0.733 Acres)

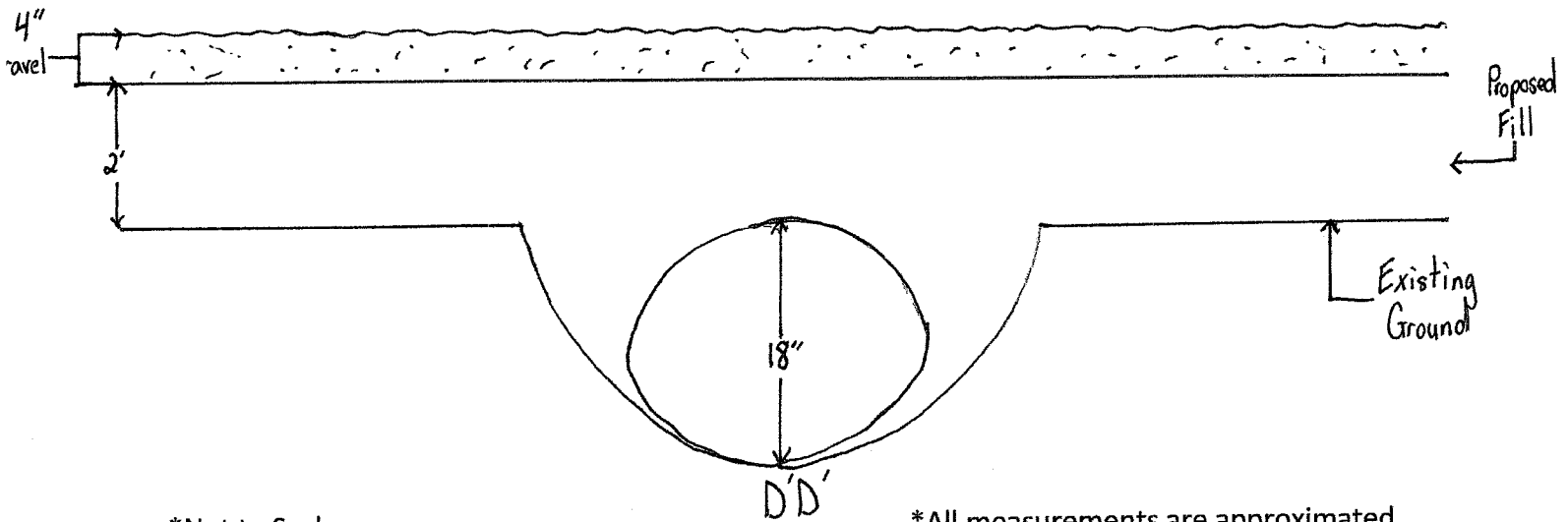
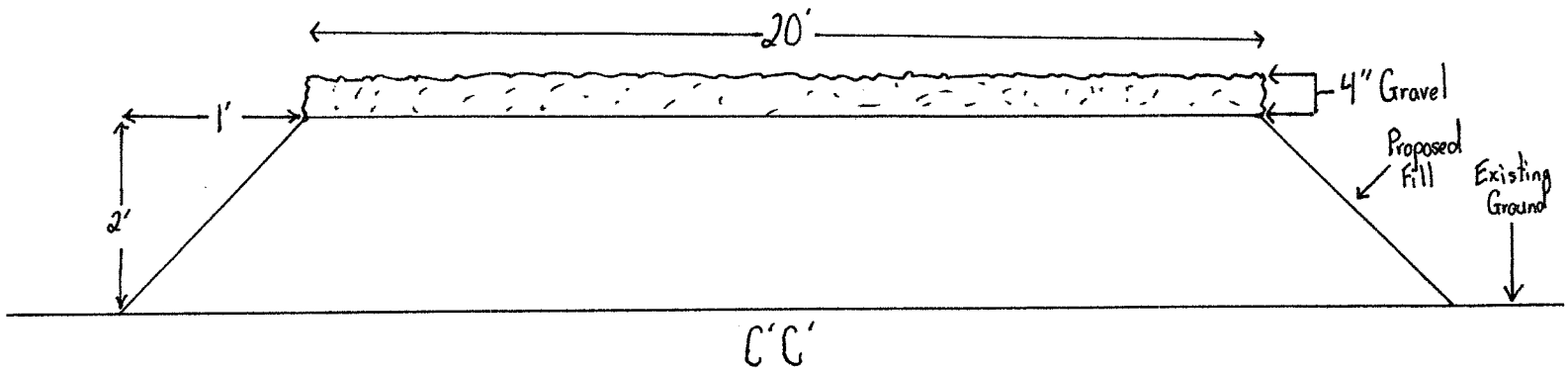
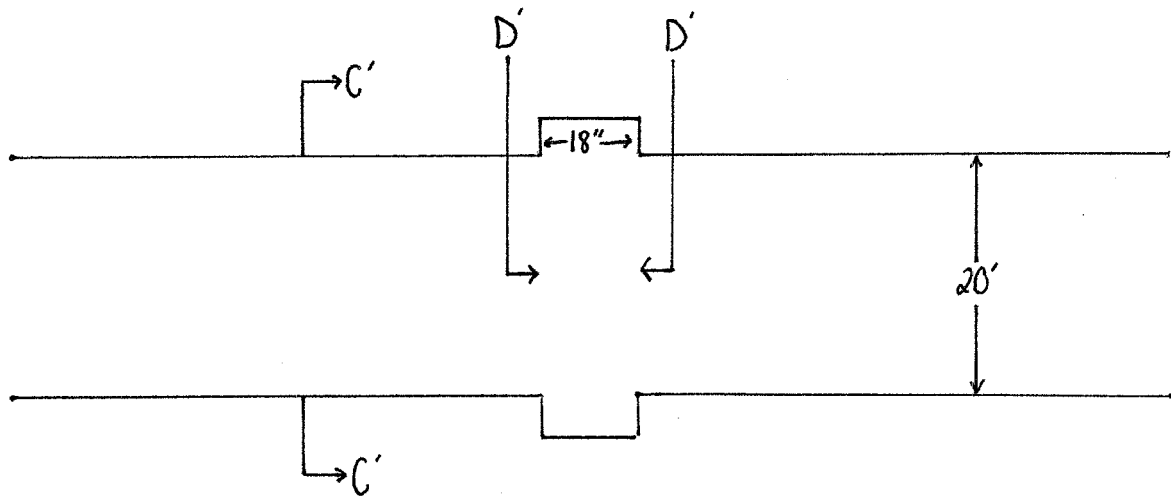
## Workshop Cross-Section



\*Not to Scale

\*All measurements are approximated

# Culvert #1, #2 & Road Cross-Section



\*Not to Scale

\*All measurements are approximated